

FULL COMMERCIAL INSPECTION REPORT

CONCEPT ONE, LLC



Property Address:

Inspection Date/Time: JANUARY 21, 2019 @ 1:00 PM

Weather Conditions: SUNNY/DRY/BREEZY

Age of Property: 20+ YEARS Stated by: PAPERWORK

Property is: COMMERCIAL BUILDING

Building is: OCCUPIED

Present During Inspection: BUYER, TENANT, BUYER'S AGENT

Inspector:

Inspection Performed by: Concept One, LLC

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REPORT CONFIDENTIALITY

The inspection report to be prepared for Client is solely and exclusively for Client's own information and may not be relied upon by any other person. Client agrees to maintain the confidentiality of the inspection report and agrees not to disclose any part of it to any other person. Client may distribute copies of the inspection report to the buyer/seller and the real estate agents directly involved in this transaction, but Client and Inspector do not in any way intend to benefit said buyer/seller or the real estate agents directly or indirectly through this Agreement or the inspection report. **This report is a "read only" report and is protected it cannot be modified or changed in any way without Concept Ones permission.**

NECESSARY REPAIRS/RECOMMENDED REPAIRS

HOW TO INTERPRET THE NECESSARY REPAIRS: The items should be repaired or replaced by an appropriately licensed contractor.

NECESSARY REPAIRS:

GUTTERS AND DOWNSPOUTS

- *Debris filled at the south and north
- *Moderate rust, corrosion and leaks at the south – near the end of lifespan
- *Gutter is partially visible at the interior side of the sanctuary at the south wall/ceiling – evidence of leaks at various locations

MAIN/CARPORT ROOFS

- *Minor rust, corrosion and stains below the evaporative cooler units – dry at the time of the inspection
- *There are small holes/openings at the carport roof at many locations throughout

EXPOSED ROOF FLASHING

- *Separations at: Vent pipes – Skylights – Exposed screws – Roof seams – Evaporative Plenum Seams
- *Missing cap at the center roof

ROOFING COMMENTS

- *Rusty flashings at the parapet/top retainer wall at the south with seam separations and exposed/extruding screws

PLUMBING WASTE LINES

- *Open waste line/vent at the utility closet at the east wall

WATER HEATER(S)

- *The TPR overflow pipe has unsafe termination in to the utility sink – not routed to a drain or to the exterior of the building – improper

FURNACE VENTING

- *Rust on the vent pipe and cap for the Modine unit at the roof
- *The roof vent for the Dayton unit needs to be extended to rise at least 2' above the evaporative cooler

EVAPORATIVE COOLER

Location: East Roof

- *Unit is winterized with parts in place – unable to test
- *Rusted and separated conduit at the unit
- *Moderate-to-severe rust on the unit

Location: West Roof

Power: 120V

Fan/Motor Speed: 2 Speed

- *Unit is winterized with parts in place – unable to test

ELECTRICAL PANEL NOTES

- *Missing blanks at the dead front cover

WIRING

- *Reverse polarity at the north exterior wall GFCI outlet
- *Light is not operational at waiting room ceiling
- *Loose outlets at a few locations
- *Missing cover plates at a few outlets
- *Exposed splices need protection at the back side of the Modine furnace
- *GFCI not operational at north exterior wall – does not respond to test button

INTERIOR WALLS

- *Minor-to-moderate moisture stains at the bottom of the west wall and base trim at the southwest mechanical closet and at the sanctuary at the south wall – dry at the time of the inspection

UTILITY SINK

- *The utility sink is loose/not secured to the wall/floor – improper

CCTV SYSTEM/EMERGENCY EXIT SIGNS

- *Installed but not inspected

RESTROOM TOILET(S)

- *Water runs continually in the toilet tank at both restrooms

RESTROOM SINK(S)

- *Hot and cold are reversed at the faucet at the women's restroom
- *The sink drain stopper is not operational at the women's restroom

HOW TO INTERPRET THE RECOMMENDED REPAIRS: We always recommend that all Repair items listed below be repaired and/or replaced to prevent further damage or deterioration.

RECOMMENDED REPAIRS:

DRIVEWAY/PARKING LOT

- ~Potholes at various locations – possible trip hazards
- ~Surface raised/settled at various locations – possible trip hazards

SIDEWALKS/WALKWAYS

- ~Surface raised/settled at the east – possible trip hazards

RETAINING WALLS

- ~Moderate-to-severe damage and displacement at the southwest wood retainer
- ~Minor-to-moderate settlement cracks at the southwest – appears stable at the time of the inspection
- ~Missing topper blocks at various locations at the top of the wall

FENCES AND GATES

- ~Damaged/deteriorated wood fencing at the southwest corner of the lot – near the end of its lifespan
- ~The driveway entry gate is difficult to operate – needs adjustment/repair

EXTERIOR WALLS

- ~There are many holes/openings that need repair at the east, north and south at various locations

HOSE FAUCETS

- ~Leaks at the east exterior wall valve stem – faucet and pipe are loose at the wall

GUTTERS AND DOWNSPOUTS

- ~Missing downspouts throughout
- ~Damaged, deteriorated and bent/altere and routed into the neighboring property at the south – improper

GRADING

- ~Minor-to-moderate improper soil slope toward the foundation at the south and west
- ~Signs of poor drainage at the southwest corner of the main building
- ~Sealant needed at the metal siding-to-sidewalk seams at the west and north

ROOFING COMMENTS

- ~Minor rust at the exposed evaporative plenum at both units

WINDOWS

- ~Minor-to-moderate moisture stains and damage at the east office (2 of 2) – dry at the time of the inspection

INTERIOR CEILINGS

- ~Minor settlement cracks at the lounge at the south wall to ceiling seam

INTERIOR FLOORS

- ~Moderate wear, damage and deterioration at various locations throughout

SMOKE DETECTOR(S)/C.O. DETECTORS

- ~None found – recommend installing smoke detectors in appropriate locations
- ~No C.O. detectors found – recommend installing in appropriate locations

CARPORT VEHICLE GATES

- ~1 of the gates is missing and the other 1 is stuck in the dirt – not tested

KEY TO REPORT ISSUES:

- * = **NECESSARY REPAIRS** – These items should be repaired or replaced
 - ~ = **RECOMMENDED REPAIRS** – Item needs attention to prevent further damage or deterioration
 - = **NOTABLE ITEM** – For information only
 - **PLEASE READ THE ENTIRE REPORT – ALL INFORMATION IS NOT LISTED IN THE NECESSARY AND RECOMMENDED REPAIRS SECTIONS.**
-

SITE, GROUNDS (PART 1)

Site and grounds generally appear serviceable unless otherwise noted. Specific details are listed below, please read carefully. Minor surface deterioration and common cracks are typical in concrete, pavers, stone, wood etc.

DRIVEWAY/PARKING LOT

Type: Concrete/Asphalt

- Not fully visible
- Evidence of active poor drainage



- ~Potholes at various locations – possible trip hazards
- ~Surface raised/settled at various locations – possible trip hazards

SIDEWALKS/WALKWAYS

Type: Concrete

- ~Surface raised/settled at the east – possible trip hazards



RETAINING WALLS

Location(s): South

Type: Block/Wood

- Not fully visible
- Drain openings are not evident
- The south block retainer wall also serves as the south exterior wall of the building



~Moderate-to-severe damage and displacement at the southwest wood retainer



~Minor-to-moderate settlement cracks at the southwest – appears stable at the time of the inspection



~Missing topper blocks at various locations at the top of the wall



PORCH

When the surface is carpeted, covered or blocked from view by owner's belongings, the construction and condition cannot be determined.

Location(s): Front

Type: Concrete

FENCES AND GATES

Type: Wrought Iron/Chain Link/Block/Barbed Wire/Wood

~Damaged/deteriorated wood fencing at the southwest corner of the lot – near the end of its lifespan

~The driveway entry gate is difficult to operate – needs adjustment/repair

EXTERIOR AND STRUCTURE (PART 2)

Exterior and structure generally appear serviceable unless otherwise noted below. Specific details are listed below, please read carefully. Minor surface deterioration and common cracks are typical in exterior wall surfaces. This inspection is limited to the readily visible areas.

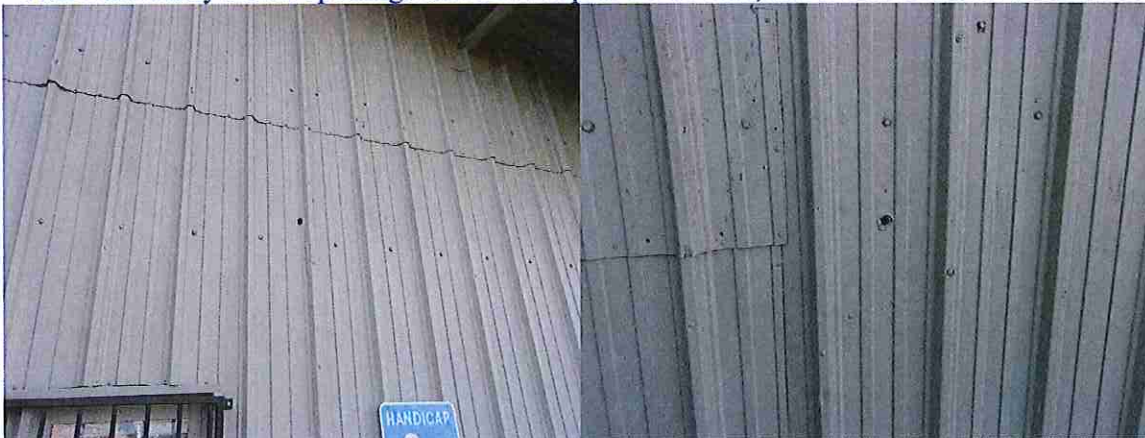
EXTERIOR WALLS

Areas hidden from view by wall covering, foliage and/or stored items are not a part of this inspection.

Structure type: Block, Steel

Wall covering type: Metal Siding/Masonry

~There are many holes/openings that need repair at the east, north and south at various locations



TRIM, EAVES, FASCIA, SOFFITS

Type: Metal

HOSE FAUCETS

- Hose faucets are: Not frost type

~Leaks at the east exterior wall valve stem – faucet and pipe are loose at the wall



GUTTERS AND DOWNSPOUTS

Subsurface drains, if present, were not tested. If not installed already, we always recommend adding gutters to your building or splashguards below the roof canals for better water control at the foundation. This is to protect the structure by directing the water away from the building.

Full Installation of Gutters

- Drainage from the flat roof was serviceable

~Missing downspouts throughout

~Damaged, deteriorated and bent/alterd and routed into the neighboring property at the south – improper



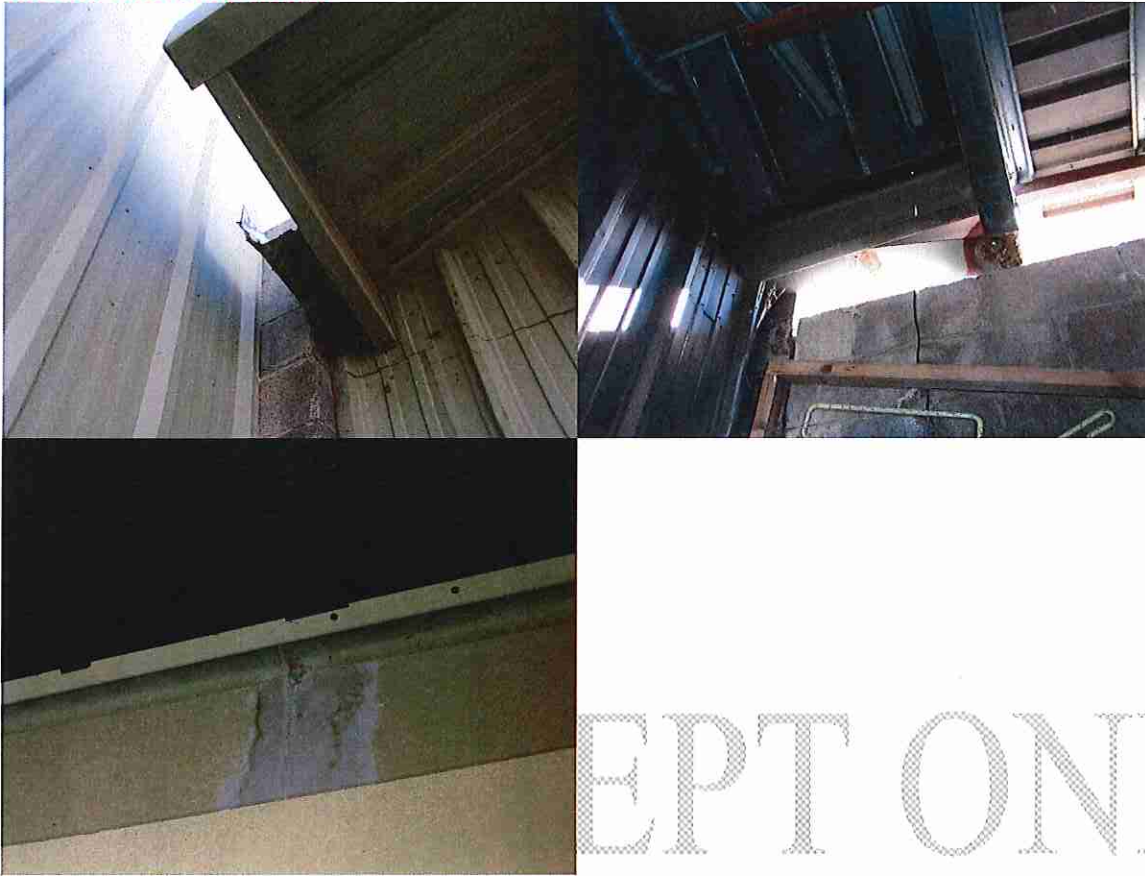
*Debris filled at the south and north



*Moderate rust, corrosion and leaks at the south – near the end of lifespan



*Gutter is partially visible at the interior side of the sanctuary at the south wall/ceiling – evidence of leaks at various locations



GRADING, SLAB ON GRADE (PART 3)

Grading and foundation type generally appear serviceable unless otherwise noted below. Specific details are listed below, please read carefully. Minor surface deterioration and common cracks are typical in concrete, concrete blocks, wood, etc. The vast majority of the foundation is not visible on any structure.

GRADING

The term grading is limited to areas around the exterior of the exposed foundation or exterior wall. The grading of the soil should allow for surface water to flow away from the structure.

Building site is a: Flat site with a minor slope.

- ~Minor-to-moderate improper soil slope toward the foundation at the south and west
- ~Signs of poor drainage at the southwest corner of the main building
- ~Sealant needed at the metal siding-to-sidewalk seams at the west and north

SLAB ON GRADE

Systems such as plumbing lines, ductwork, etc. that are under the concrete slab are not part of this inspection.

Foundation type: Concrete

Foundation perimeter: Not visible at the entire building

- The slab was not visible due to floor covering – No readily visible problems are noted at the time of this inspection.

Floor construction: Not visible

Anchor bolts: Could not be verified

Insulation: Not Visible

Vapor Retarder: Not Visible

- Frame not visible
- Conventional wood frame at various interior walls and upper loft floor throughout

ROOF COMPONENTS (PART 4)

Roof(s) generally appear serviceable unless otherwise noted below. Specific details are listed below, please read carefully. Typical yearly maintenance is recommended for all roof systems. This maintenance should help ensure the water tightness of the building and be performed on a regular basis. Failure to maintain the roofing can result in leaks and deterioration. Pictures provided are examples only and may not indicate all repairs needed.

Roof Style: Gable/Flat/Low Slope

How Inspected: Walked

MAIN/CARPORT ROOFS

Roofing material type: Metal/Coated and Painted surface (Solar Flex)



REPT ONE

- General condition appears serviceable with signs of weathering and aging – regular inspections and maintenance advised.
- Evidence of moderate patching/repair at various locations throughout
- Minor-to-moderate rust throughout at the metal siding façade at the north



*Minor rust, corrosion and stains below the evaporative cooler units – dry at the time of the inspection



*There are small holes/openings at the carport roof at many locations throughout

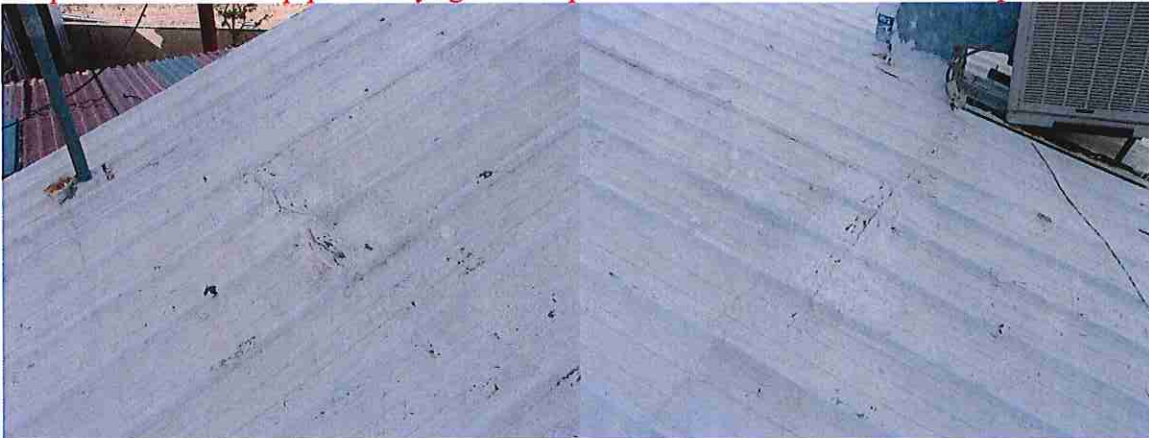


EXPOSED ROOF FLASHING

Vent caps appear serviceable

Skylights appear serviceable

*Separations at: Vent pipes – Skylights – Exposed screws – Roof seams – Evaporative Plenum Seams





*Missing cap at the center roof



ROOFING COMMENTS

- Skylights do not appear to have been professionally installed throughout



~Minor rust at the exposed evaporative plenum at both units



*Rusty flashings at the parapet/top retainer wall at the south with seam separations and exposed/extruding screws



PLUMBING SYSTEMS (PART 5)

Plumbing system generally appears serviceable unless otherwise noted below. Specific details are listed below, please read carefully. It is common for water and drain lines in the plumbing system to have minor corrosion. Plumbing lines and vent pipes are not fully visible. Solar systems or recirculation pumps are not inspected or tested. Septic tanks, private water systems and community water systems are not part of this inspection. Main water valves are not tested, as testing can cause damage. Be forewarned that most cutoff valves at individual fixtures are not operated regularly and as such they are prone to leak when operated. They should only be used to shut off the water in the event of a leak that could damage surrounding materials. Any ages given are estimates only.

PLUMBING MAIN LINE

Type: Not Visible Size: Not Visible Pressure: 80 PSI at time of inspection

Main water valve location: Front at the meter box at the east sidewalk – not tested

Main water valve not located at the building

- Not fully visible

PLUMBING SUPPLY LINES

Be advised that some "Polybutylene" plastic piping systems, as well as some "Kitec" plumbing systems have experienced documented problems. Some Polybutylene or Kitec piping may be used in the plumbing system along with copper but may not be visible in a typical inspection.

Type: Copper

- Minor corrosion
- Not fully visible

PLUMBING WASTE LINES

Only visible waste lines are inspected. It is recommended that buildings 10 years or older have a camera sewer inspection.

Type: PVC/ABS

Plumbing vents appear serviceable

- Not fully visible

***Open waste line/vent at the utility closet at the east wall**



REPT ONE

FUEL SYSTEM

Location: East Exterior

Type: Gas Meter

WATER HEATER(S)

The average life expectancy of a water heater is 8-12 years, but can be less or more depending on a variety of circumstances, which is why we apprise you of the age of the unit(s) whenever possible. It is recommended that water heaters be flushed annually to remove loose sediment that may affect the efficiency of the water heater.

Appears Serviceable

Location: Utility closet below the stairs

Type: Electric

Gallons: 50

Manufacturer: Whirlpool

Approximate Age: 5 years (2014)

Water shut-off valve installed (not tested)

Enclosure: Serviceable – Not fully visible

- TPR valve installed on the tank

*The TPR overflow pipe has unsafe termination in to the utility sink – not routed to a drain or to the exterior of the building – improper



HEATING AND COOLING SYSTEMS (PART 6)

Heating system generally appears serviceable unless otherwise noted below. Specific details are listed below, please read carefully. Ductwork, Vents, lines, and heat exchangers are not fully visible. We do not test heating or cooling systems that are not permanently installed or are freestanding. The components of most heating and air conditioning systems have a design life ranging from 10-20 years, but can fail prematurely with poor maintenance, which is why we note the age of the unit whenever possible. Any ages given are estimates only. We test and evaluate the systems accordance with the standards of practice, which means that we do not dismantle and inspect the concealed portions of the systems. Be advised that some "Polybutylene" plastic piping systems, as well as some "Kitec" and other piping plumbing systems have experienced documented problems. Some Polybutylene or Kitec piping may be used in the plumbing system along with copper but may not be visible in a typical inspection.

HEATING

| | | | |
|----------------------------------|----------------|--------------------|------------------------|
| Location: Sanctuary (NE) | BTU's: 105,000 | Type: Forced Air | Fuel Type: Natural Gas |
| Manufacturer: Modine | | | |
| Approximate Age: 29 years (1990) | | | |
| Location: East Office | BTU's: 25,000 | Type: Wall/radiant | Fuel Type: Natural Gas |
| Manufacturer: Williams | | | |
| Approximate Age: 20+ years | | | |
| Location: Waiting Room | BTU's: 35,000 | Type: Wall/radiant | Fuel Type: Natural Gas |
| Manufacturer: Dayton | | | |
| Approximate Age: 20+ years | | | |

FURNACE GENERAL CONDITION

Operational at the time of the inspection

FURNACE VENTING

Appears typical

*Rust on the vent pipe and cap for the Modine unit at the roof

*The roof vent for the Dayton unit needs to be extended to rise at least 2' above the evaporative cooler



FURNACE COMBUSTING AIR

Appears adequate at all units

FURNACE BURNERS

Burner heat exchanger is not fully visible.

Appear typical at all units

HEAT/COOLING DISTRIBUTION

Hidden ductwork, pipes, etc. are not part of this inspection.

Type: Ducts and Registers for the east evaporative cooler and single duct/register for the west evaporative cooler

- Not fully visible

FURNACE CONTROLS

Normal controls operational at all units

EVAPORATIVE COOLER

Location: East Roof

Power: 120V

Fan/Motor Speed: 2 Speed

Manufacturer: Champion

Approximate Age: 21 years (1998)

Water supply line is not fully visible

- Electrical disconnect present (Fuses)



- Black bucket/funnel and plywood added at the exposed east roof evaporative cooler plenum – purpose is unknown – appears abandoned/not in use – recommend removal



*Unit is winterized with parts in place – unable to test

*Rusted and separated conduit at the unit



*Moderate-to-severe rust on the unit



Location: West Roof

Power: 120V

Fan/Motor Speed: 2 Speed

Manufacturer: Champion

Approximate Age: 16 years (2003)

Water supply line is not fully visible

*Unit is winterized with parts in place – unable to test

ELECTRICAL SYSTEM (PART 7)

Electrical system generally appears serviceable unless otherwise noted below. Specific details are listed below, please read carefully. There are some electrical panels, like Federal Pacific and Zinsco that have had documented issues.

Single stranded aluminum wiring has also had some issues historically. Contact a licensed electrician if more information is desired. Occupants' belongings may have prevented the test of all the electrical components. Low voltage wire, phone lines, alarms, etc. are not part of this inspection. Sensor/motion lights are not tested and/or inspected. Any ages given are estimates only.

ELECTRICAL SERVICE

Overhead # of Conductors: 3
120v/240v Amps: 200

MAIN ELECTRICAL PANEL

Location: Southwest mechanical closet

Panel rating: 200

Manufacturer: Siemens

Approximate Age: 20+ years

- Ground was present.

ELECTRICAL PANEL NOTES

Wiring method: Breakers

*Missing blanks at the dead front cover

ELECTRICAL CONDUCTORS

Service wire: Copper

Branch wire: Copper

Wiring method: Non-Conduit/Metal Conduit

ELECTRICAL SUB PANEL

Location: South center mechanical closet

WIRING

Covered or hidden wire components, splices and connections are not a part of this inspection. All accessible outlets and switches were tested.

GFCI responds to test.

- Grounding and polarity of receptacles within 6' of plumbing fixtures appears serviceable.
- Unsure what switch connected to at the women's restroom (1 of 3)
- Occupant's belongings prevent testing of all outlets and switches

*Reverse polarity at the north exterior wall GFCI outlet

*Light is not operational at waiting room ceiling

*Loose outlets at a few locations

*Missing cover plates at a few outlets

*Exposed splices need protection at the back side of the Modine furnace



*GFCI not operational at north exterior wall – does not respond to test button

INTERIOR COMPONENTS (PART 8)

Interior components generally appear serviceable unless otherwise noted below. Specific details are listed below, please read carefully. Occupants' belongings may have prevented a full inspection of all interior components, do a careful check on your final walk-through. Minor surface deterioration and common cracks are typical in building surfaces. Any ages given are estimates only.

DOORS (ENTRY)

Weather-strip: Serviceable

Latching hardware: Operational

- Wrought iron security doors at the front entry were not tested – not inspected

DOORS (INTERIOR AND EXTERIOR)

Due to lighting conditions, temperature, etc. fogged glass is not always visible at the time of inspection so please carefully check all of the window glass and the glass in doors on the final walk-through. It is not always possible in windows that are set lower than typical to the floor and in glass doors to identify if glass is tempered.

Latching hardware: Operational

Tracks: Serviceable

WINDOWS

Due to lighting conditions, temperature, etc. fogged glass is not always visible at the time of inspection so please carefully check all of the window glass and the glass in doors on the final walk-through. It is not always possible in low windows and in glass doors to identify if glass is tempered.

Type: Aluminum, Sliding, Wood, Single Pane, Dual Pane, Double Hung

Screens: Serviceable

- Security bars installed at the east office are not designed to open

~Minor-to-moderate moisture stains and damage at the east office (2 of 2) – dry at the time of the inspection



INTERIOR WALLS

Conditions of walls behind paneling or wall covers cannot be determined.

Type: Drywall/Plywood

- Common cracks
- Furnishings prevent full inspection-do a careful check on your final walkthrough

*Minor-to-moderate moisture stains at the bottom of the west wall and base trim at the southwest mechanical closet and at the sanctuary at the south wall – dry at the time of the inspection



INTERIOR CEILINGS

Type: Drywall/Vinyl Panels

- Common cracks

~Minor settlement cracks at the lounge at the south wall to ceiling seam



INTERIOR FLOORS

Conditions under floor coverings and owners' belongings cannot be determined.

Type: Carpet/Vinyl/Tile

- Furnishings prevent full inspection-do a careful check on your final walkthrough

~Moderate wear, damage and deterioration at various locations throughout



CEILING FANS

Appears Serviceable

Location(s): Sanctuary (x4), Chancel (x2), Lounge, Office, Waiting Room

Approximate Age: 10-19 years

- Remote control type at the sanctuary unit

INTERIOR STAIRS:

Stairs: Serviceable

Handrails: Serviceable

UTILITY SINK

Location: Utility closet below the stairs

Faucet appears: Serviceable

Plumbing under sink appears: Serviceable

***The utility sink is loose/not secured to the wall/floor – improper**



SMOKE DETECTOR(S)/C.O. DETECTORS

~None found – recommend installing smoke detectors in appropriate locations

~No C.O. detectors found – recommend installing in appropriate locations

CCTV SYSTEM/EMERGENCY EXIT SIGNS

***Installed but not inspected**

GENERAL INFO

- Refrigerator provided at the lounge area – not tested – not inspected



CARPORT (PART 9)

Garage/carport components generally appear serviceable unless otherwise noted below. Specific details are listed below, please read carefully. Occupants' belongings may have prevented a full inspection of all garage components, do a careful check on your final walk-through. Detached garages are not part of this inspection unless otherwise noted. Minor surface deterioration and common cracks are typical in concrete, drywall finishes, etc.

Any ages given are estimates only.

CARPORT FLOOR

Appears typical

- Not fully visible

CARPORT DOOR TO INTERIOR

- The metal door at the west exterior is abandoned/not in use – walled over at the interior side of the door

CARPORT VEHICLE GATES

Type: Swinging

~1 of the gates is missing and the other 1 is stuck in the dirt – not tested

RESTROOM (S) (PART 10)

Bathroom components generally appear serviceable unless otherwise noted below. Specific details are listed below, please read carefully. Fixtures are tested using normal operating controls. It is not always possible to determine if shower and or tub enclosure glass is tempered.

Locations: Men's, Women's

RESTROOM TOILET(S)

Appears operational

*Water runs continually in the toilet tank at both restrooms

RESTROOM SINK(S)

Faucet appears operational

Drain appears functional

Cabinet/Counter top appear serviceable at both restrooms

- The sink is cracked/damaged at the men's restroom



*Hot and cold are reversed at the faucet at the women's restroom

*The sink drain stopper is not operational at the women's restroom

RESTROOM HEATER/VENTILATION(S)

Heat available

Ventilation available

LIMITATIONS AND LIABILITIES (PART 11)

TERMS AND CONDITIONS FOR INSPECTION

Concept One strongly advises Realtor to discuss these terms with the Ordering Party.

SCOPE OF INSPECTION: The scope of any ordered Inspection and/or report is limited visual Inspection of the general systems and components of the building to identify any system or component listed in the report that may be in need of immediate major repair. All Inspections will be performed in compliance with generally accepted standards of practice, a copy of which is available upon request.

OUTSIDE SCOPE OF INSPECTION: Any area that is not exposed to view, is concealed, or is inaccessible because of soil, walls, floors, carpets, ceilings, furnishings, or any other thing, is not included in any inspection. Inspections do not include any destructive testing or dismantling. Client agrees to assume all the risk for all conditions that are concealed from view of the time of any inspection. Inspections are not a building warranty, guarantee, Insurance policy or substitute for real estate transfer disclosures that may be required by law.

Whether or not they are concealed; the following **ARE OUTSIDE THE SCOPE OF ANY INSPECTION:**

- Specific components noted as being excluded on the individual systems Inspection forms.
- Private water or private sewage systems.
- Saunas, steam baths, or fixtures and equipment.
- Radio-controlled devices, automatic gates, elevators, lifts, dumbwaiters and thermostatic or time clock controls.
- Water softener/purifier systems or solar heating systems.
- Furnace heat exchangers, freestanding appliances, security alarms or personal property,
- Adequacy or efficiency of any system or component.
- Prediction of life expectancy of any item.
- Building code or zoning ordinance violations.
- Geological stability or soil condition.
- Structural stability or engineering analysis.
- Termites, pests or other wood destroying organisms.
- Mold, mildew and all related conditions.
- Asbestos, radon, formaldehyde, lead, water or air quality, electromagnetic radiation or any environmental hazards.
- Building value appraisal or cost estimates.
- Condition of detached buildings.
- Pools and/or spas and underground piping.

Your Inspector is a building inspector generalist and is not acting as a licensed engineer or expert in any craft or trade. If your Inspector recommends consulting other specialized experts, Client must do so at Client's expense.

ARBITRATION: Any dispute, controversy, interpretation or claim including claims for, but not limited to, breach of contract, any form of negligence, fraud or misrepresentation arising out of, from or related to, this contract or arising out of, from or related to the Inspection or Inspection report shall be submitted to final and binding arbitration under the Rules and Procedures of the Expedited Arbitration of Building Inspection Disputes of Construction Arbitration Services, Inc. The decision of the arbitrator appointed thereunder shall be final and binding and judgment of the Award may be entered in any Court of competent jurisdiction.

USE BY OTHERS: Client promises Inspector that client has requested this Inspection for Clients own use only and will not disclose any part of the inspection report to any other person with these exceptions ONLY: One copy may be provided to the real estate agent representing the Client and/or bank or other lender for use in Client's transaction only.

SEVERABILITY: Client and Inspector agree that should a Court of Competent Jurisdiction determine and declare that any portion of this contract is void, voidable or unenforceable, the remaining provisions and portions shall remain in full force and effect.

DISPUTES: Client understands and agrees that any claim for failure to accurately report the visually discernible conditions at the Subject Property, as limited herein above, shall be made in writing and reported to the Inspector within ten business days of discovery. Client further agrees that, with the exception of emergency conditions, Client or Client's agents, employees or independent contractors will make no alterations, modifications or repairs to the claimed discrepancy prior to a reinspection by the Inspector. Client understands and agrees that any failure to notify the Inspector as stated above shall constitute a waiver of any and all claims for said failure to accurately report the condition in question.

LIMITATIONS ON LIABILITY: INSPECTOR'S LIABILITY FOR MISTAKES OR OMISSIONS IN ANY INSPECTION REPORT SHALL BE LIMITED TO A REFUND OF THE FEE PAID FOR THE INSPECTION AND REPORT. THE LIABILITY OF INSPECTOR'S PRINCIPALS OR AGENTS, AND EMPLOYEES IS ALSO LIMITED TO THE FEE PAID. THIS LIMITATION APPLIES TO ANYONE WHO IS DAMAGED OR HAS TO PAY EXPENSES OF ANY KIND BECAUSE OF MISTAKES OR OMISSIONS IN THIS INSPECTION AND REPORT. THIS LIABILITY LIMITATION IS BINDING ON CLIENT AND CLIENT'S SPOUSES, HEIRS, PRINCIPALS, ASSIGNS AND ANYONE ELSE WHO MAY OTHERWISE CLAIM THROUGH CLIENT. CLIENT ASSUMES THE RISK OF ALL LOSSES GREATER THAN THE FEE PAID FOR THE INSPECTION. CLIENT AGREES TO IMMEDIATELY ACCEPT A REFUND OF THE FEE AS FULL SETTLEMENT OF ANY AND ALL CLAIMS WHICH MAY EVER ARISE FROM ANY ORDERED INSPECTION.

CONCEPT ONE'S PERFORMANCE OF ANY ORDERED INSPECTIONS IS CONDITIONED UPON THE ORDERING PARTY'S AGREEMENT TO THE ABOVE TERMS, CONDITIONS, AND SCOPE OF INSPECTION.

CONCEPT ONE